

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

John Kerr – Chair
David Thomas – Vice Chair
Mitch Gregory – Sec

Heather Bay
Rhonda Keisling
Carol Pruitt

David Nollner
Mark Swaffer
Thomas Harper

FEBRUARY 13, 2023 | 7:00PM | TC COMMUNITY CENTER

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting January 9, 2023

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

Rezoning

- Rezone by Mary Lynn Claridy from A-1 to R-1/A-1 on Hwy 10 (Map 13 Parcel 32.05) of 5.01 acres to separate 2 acres off and add the remainder to adjacent parcel owned in the 3rd Civil District
- Rezone by William Fergusson from A-1 to R-1 on 665 Hawkins Branch RD (Map 006 Parcel 4.03) of 5.01 acres to match zoning of adjacent property in the 4th Civil District
- Rezone by Elizabeth Sutherland from A-1 to R-1 on 185 Lattie Reese RD (Map 026 Parcel 058.00) of 3.95 acres to separate an acre for a house in the 1st Civil District.

Preliminary Plat

- Preliminary Plat approval for Freedom Estates on Bass Rd (Map 17 Parcel 19.00) of 34.96 acres of 16 lots in the 6th Civil District

Plat Amendment

- Plat amendment for Willow Way subdivision Section 2 of Lewis Beasley property on Hwy 141 N of 13.57 acres (Map 14 Parcel 2.00) for 8 lots in the 7th Civil District

Other Discussion

- Commercial Building Design Guidelines
- Codes and Zoning discussion

REPORT FROM CHAIRMAN

REPORT FROM BUILDING INSPECTOR

	Residence	Res Fees	Accessory	Access	Commercial	Commercial Fees
	No. of	Permit Impact	Permits	Permit	Permits	Permit Impact
	Permits			Fees		
JAN 2022	6	\$11K / \$10K	3	\$1K	2	\$1K / 0
JAN 2023	5	\$7K / \$8K	5	\$2K	2	\$3K / \$2K
DEC 2022	3	\$3K / \$3K	0	0	0	0

CLOSING REMARKS FROM THE CHAIR AND COMMISSION

ADJOURN

Hartsville/Trousdale Planning Commission Regular Meeting

Meeting Minutes

January 9, 2023 - 7:00 P.M. – Trousdale County Community Center

Present: John Kerr, David Nollner, Thomas Harper, David Thomas, Heather Bay, Mitch Gregory, Carol Pruitt, Rhonda Keisling, Sam Edwards, Kealan Millies-Lucke (GNRC)

Absent: Mark Swaffer

Others Present: Jonathan and Racheal Petty, Jim Carman, Jackie Dillehay, Jackie Gross, Roxanne Campbell, Alex Shoulders, Jordan Fleming, Rosalie Myhan,

Roll Call

- Chairman Kerr called the meeting to order at 7:00 P.M. and conducted a roll call.

Approval of Minutes

- Chairman Kerr asked for review of the December 14th, 2022 meeting minutes. Rhonda Keisling made motion to approve minutes and seconded by David Nollner. **MOTION CARRIED**

Changes to the Agenda - no changes

Public Hearing – none

Old Business- none

New Business

- Rezoned by Racheal Petty from A-1 to A-1/R-1 on 390 Rankin Rd (Map 29 Parcel 44.00) of 2 acres to retain farm property in the 6th Civil District**
Jonathan and Racheal Petty responded to any questions asked by planning commission pertaining to the rezoning from A1 to A1/R1. David Nollner made the motion to approve with favorable recommendation to the county commission. Carol Pruitt seconded the motion. **MOTION CARRIED**
- Rezoned by Alexander and Kelsea Shoulders from A-1 to R-1 on 480 Honeysuckle RD (Map 006 Parcel 022.11) of 1 acre to split house and 1 acre to sell in the 5th Civil District**
Alex Shoulders spoke on behalf of rezoning from A-1 to R-1 due to splitting the house and 1 acre to sell. David Thomas made the motion to approve with favorable recommendation to the county commission. Heather Bay seconded the motion. **MOTION CARRIED**
- Sketch Plat approval for Freedom Estates on Bass Rd (Map 17 Parcel 19.00) of 34.96 acres of 16 lots in the 6th Civil District.**
Jordan Fleming presented the sketch plat. The planning commission requested a letter from Castalian Springs-Bethpage Water Utility District submitted to Building and codes inspector stating the existing waterline does not have the capacity to support fire hydrants. Heather Bay made the motion to approve the sketch plat. David Thomas seconded that motion. **MOTION CARRIED**
- Final Plat approval for Section 1 of Willow Way- Lewis Beasley property on Hwy 141 N of 4.40 acres (Map 14 Parcel 2.00) for 3 lots in the 7th Civil District**
Jim Carman presented members with the final plat of the property on Hwy 141. Kealan Milles-Lucke made note that all plat issues had been resolved. David Thomas made the motion to approve the final plat. Thomas Harper seconded the motion. **MOTION CARRIED**

- **Final Plat approval for Section 2 of Willow Way -Lewis Beasley property on Hwy 141 N of 13.57 acres (Map 14 Parcel 2.00) for 8 lots in the 7th Civil District**
Jim Carman presented members with a final plat of property. Jim noted that he added the fire hydrants to the final plat due to regulations. Mitch Gregory made the motion to approve the final plat. Heather Bay seconded the motion. **MOTION CARRIED**
- **Final Plat Approval for Jackie and Betty Gross on Walnut Grove Rd of 27.0 acres (Map 17 Parcel 3.01) of 8 lots in the 6th Civil District**
Jim Carman presented members with the final plat of property on Walnut Grove Road. Sam Edwards, Building, Zoning and Codes Official, questioned Jim with a concern pertaining to the pond being located on two lots. Jim stated due to size constraints it was not feasible. Jim noted on the final plat that one owner cannot detriment the pond to the issues of the other owner. Carol Pruitt made the motion to approve the final plat. Thomas Harper seconded the motion. **MOTION CARRIED**

Discussion Items

- **Commercial Building Guidelines**
GNRC staff presented commercial/industrial design criteria the surrounding counties are enforcing. Tree Preservation and Maintenance was first design criteria presented. After a brief discussion within the planning commission, they decided to favor the Columbia TN guidelines but planned to discuss further once more information is provided. Second design criteria were drainage requirements in surrounding counties. Kealan Milles-Lucke suggested to have a required drainage plan for commercial and industrial properties to contain all water to the specific site. The planning commission favored similar guidelines of Wilson County provided by GRNC. The final design criteria presented pertained to the incorporation of ADA accessibility language into the parking lot design requirements. The planning commission agreed to not vary from ADA guidelines.
- **Codes and Zoning discussion**
David Thomas supplied a quick update pertaining to the solar farms within the codes and zoning.

Closing Remarks from the Chair and Building Inspector

Adjourn

- David Nollner made a motion to adjourn, Seconded by Carol Pruitt.

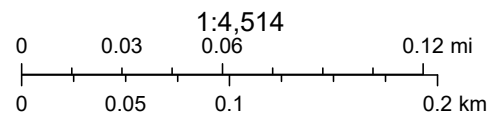
MOTION CARRIED

Trousdale County - Parcel: 013 032.05



Date: February 6, 2023

County: Trousdale
Owner: CLARIDY DANNY
Address: HWY 10
Parcel Number: 013 032.05
Deeded Acreage: 5.01
Calculated Acreage: 0
Date of TDOT Imagery: 2017
Date of Vexcel Imagery: 2021



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The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

HARTSVILLE/TROUSDALE COUNTY
Sam Edwards | Zoning & Building Inspector
328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | fax (615) 374-0558

1/27/23
MR#1940

ZONING CHANGE

PARCEL INFORMATION

Current Zoning A-1 Requested Zoning R-1 Reason split into two lots
Property Owner Mary Lynn Claridy Phone
Property Address Hwy 10 Hartsville TN 37074
Lot Size 5.01 acres Road Frontage ft. Easements ft
Tax Map Number 013 Group Parcel 32.05 Record/Deed Book
Subdivision Name Phase Lot #
Water Source city Sewer or Septic septic

APPLICANT INFORMATION

Applicant Name Mary Lynn Claridy Phone (615)
Mailing Address Hwy 10 Hartsville TN 37074
Email:

IMPACT INFORMATION

Zoning of Surrounding Properties A-1, C-1
Names of Surrounding Property Owners Danny Claridy, KEVIN RIVERS,
BYRON GRAVES JR, ROGER JONES, JERRY FORD
Affected Roads Hwy 10
Schools Affected
Public Utilities Hartsville Water, Tri-County Electric

ACTION TAKEN

Reviewed by Planning Commission	_____	Action	_____
Reviewed by BZA	_____	Action	_____
Zoning Ordinance at County Commission			
1 st Reading	_____	Action	_____
Public Hearing	_____	Action	_____
2 nd Reading	_____	Action	_____
Passed	_____	Failed, state reason	_____

Mary S Claridy
Applicant Signature

1/27/2023
Date Submitted

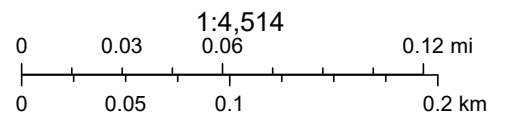
\$100 Application fee

Trousdale County - Parcel: 006 004.03



Date: February 6, 2023

County: Trousdale
Owner: FERGUSSON WILLIAM ETUX TONYA B FERGUSSON
Address: HAWKINS BR RD 665
Parcel Number: 006 004.03
Deeded Acreage: 5.01
Calculated Acreage: 0
Date of TDOT Imagery: 2017
Date of Vexcel Imagery: 2021



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ZONING CHANGE

PARCEL INFORMATION

Current Zoning A-1 Requested Zoning R-1 Reason match zoning of adjacent parcel
Property Owner William and Tonya Fergusson Phone
Property Address 665 Hawkins Branch RD Bethpage TN 37022
Lot Size 5.01 acres Road Frontage ft. Easements ft
Tax Map Number 06 Group Parcel 004.03 Record/Deed Book
Subdivision Name Phase Lot #
Water Source city Sewer or Septic septic

APPLICANT INFORMATION

Applicant Name William Fergusson Phone
Mailing Address TN 37022
Email:

IMPACT INFORMATION

Zoning of Surrounding Properties A-1, R-1
Names of Surrounding Property Owners William Fergusson, Braydon Spatterfield
Billy Oglesby Jr, Joe Fergusson,
Affected Roads Hawkins Branch Rd
Schools Affected
Public Utilities Castalian Springs/Bethpage Water; Tri County Electric

ACTION TAKEN

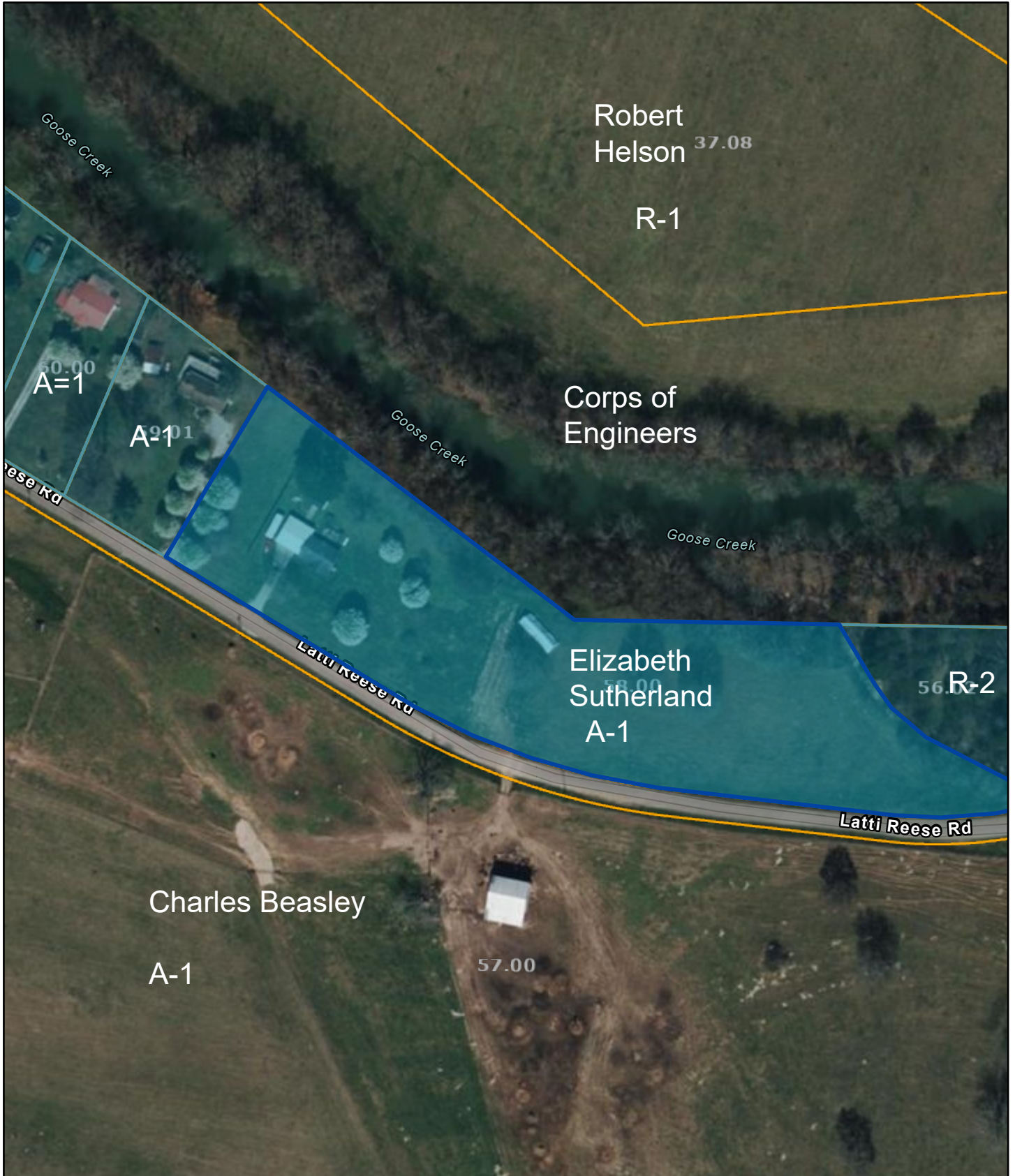
Reviewed by Planning Commission Action
Reviewed by BZA Action
Zoning Ordinance at County Commission
1st Reading Action
Public Hearing Action
2nd Reading Action
Passed Failed, state reason

W. Fergusson
Applicant Signature

1/25/23
Date Submitted

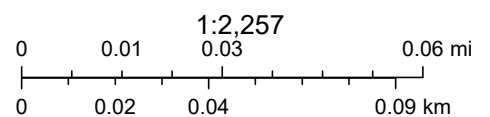
\$100 Application fee

Trousdale County - Parcel: 026 058.00



Date: February 6, 2023

County: Trousdale
Owner: BEASLEY CHARLES ETUX
Address: LATTIE REESE RD 185
Parcel Number: 026 058.00
Deeded Acreage: 3.95
Calculated Acreage: 0
Date of TDOT Imagery: 2017
Date of Vexcel Imagery: 2021



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ZONING CHANGE

PARCEL INFORMATION

Current Zoning A-1 Requested Zoning R-1 Reason BUILD HOUSE
Property Owner ELIZABETH SUTHERLAND Phone _____
Property Address 185 LATTIE REESE RD HARTSVILLE TN 37074
Lot Size 3.95 ACRES Road Frontage _____ ft. Easements _____ ft
Tax Map Number 026 Group _____ Parcel 058.00 Record/Deed Book W PG 26 LOT 32-
Subdivision Name _____ Phase _____ Lot # _____
Water Source CITY Sewer or Septic septic

APPLICANT INFORMATION

Applicant Name ELIZABETH SUTHERLAND Phone _____
Mailing Address _____, HARTSVILLE TN 37074
Email: _____

IMPACT INFORMATION

Zoning of Surrounding Properties R-1, A-1, R-2
Names of Surrounding Property Owners CORD of ENGINEERS, Robert HELSON,
FRANK Sutherland, Charles Beasley, Dennis Denham, Dean Ward
Affected Roads Lattie Reese Rd
Schools Affected _____
Public Utilities Hartsville Water, TRI County Electric

ACTION TAKEN

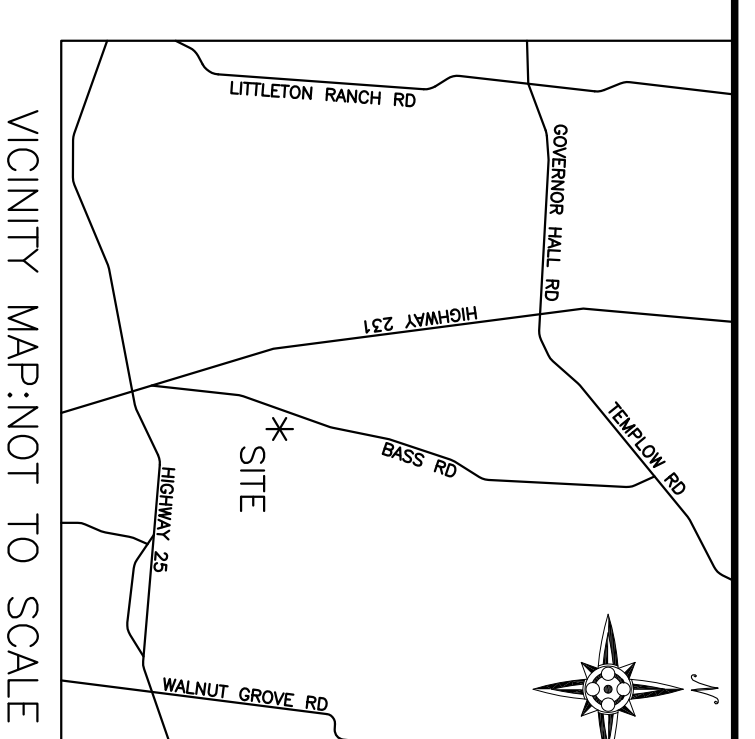
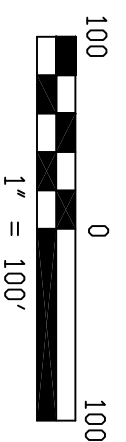
Reviewed by Planning Commission _____ Action _____
Reviewed by BZA _____ Action _____
Zoning Ordinance at County Commission
1st Reading _____ Action _____
Public Hearing _____ Action _____
2nd Reading _____ Action _____
Passed _____ Failed, state reason _____

Elizabeth Sutherland

Applicant Signature

Date Submitted

\$100 Application fee



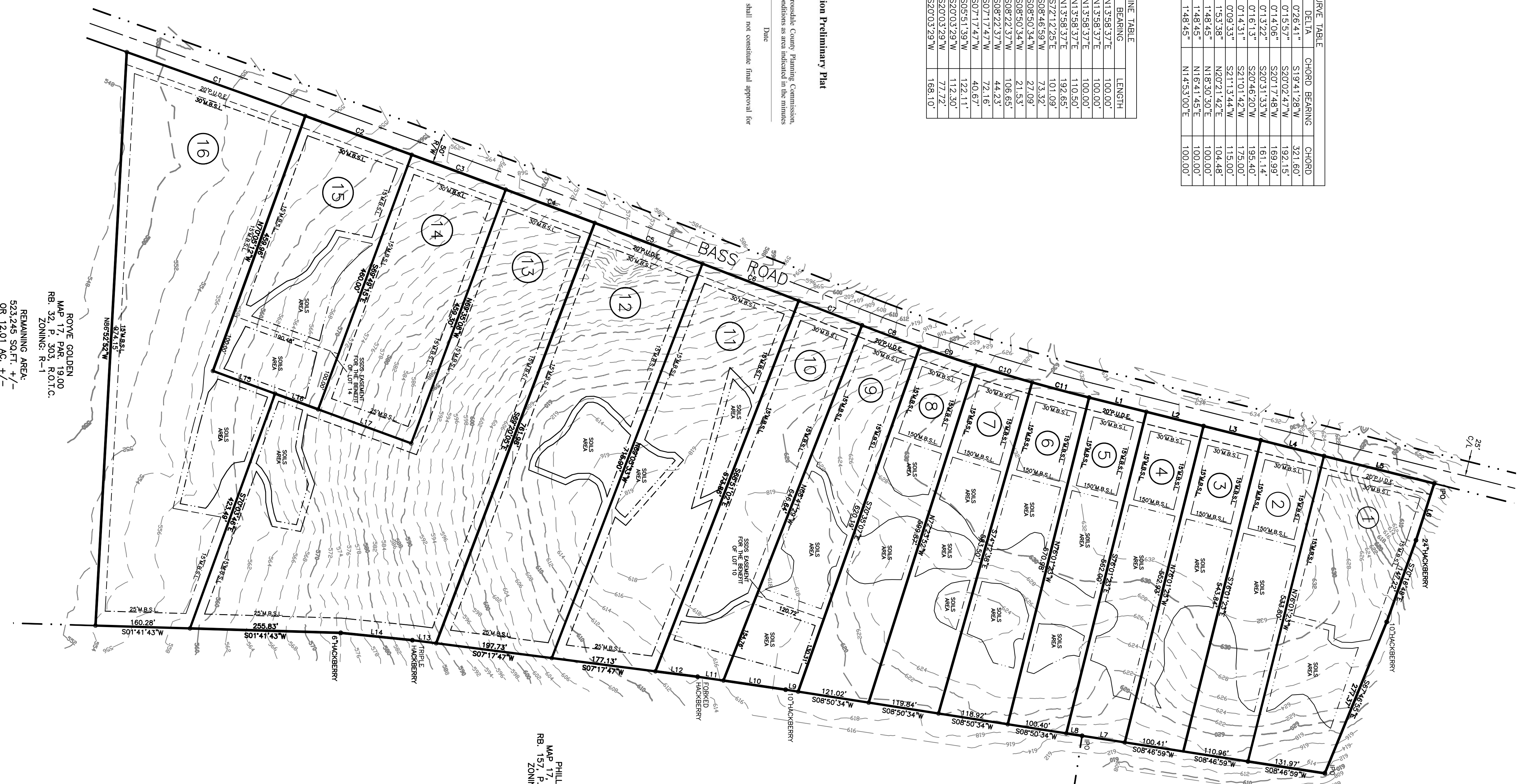
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	391.60'	41426.20'	0°26'41"	S1944.25°W	321.60'
C2	182.13'	41426.20'	0°15'57"	S2072.45°W	162.15'
C3	189.14'	41426.20'	0°13'22"	S2031.15°W	163.93'
C4	196.40'	41426.20'	0°16'14"	S2044.20°W	165.14'
C5	175.00'	41426.20'	0°14'31"	S2101.42°W	175.00'
C6	115.00'	41426.20'	0°09'33"	S2113.44°W	115.00'
C7	104.48'	41426.20'	1°53'38"	N2021.42°E	104.48'
C8	100.00'	3161.10'	1°48'45"	N1830.30°E	100.00'
C9	100.00'	3161.10'	1°48'45"	N1641.45°E	100.00'
C10	100.00'	3161.10'	1°48'45"	N1453.00°E	100.00'
C11	100.00'	3161.10'	1°48'45"	N1453.00°E	100.00'

LINE	BEARING	LENGTH
L1	N13°56'37"E	100.00'
L2	N13°56'37"E	100.00'
L3	N13°56'37"E	100.00'
L4	N13°56'37"E	110.50'
L5	N13°56'37"E	192.65'
L6	S27°12'25"E	101.09'
L7	S08°46'56"W	73.32'
L8	S08°50'34"W	27.09'
L9	S08°50'34"W	21.53'
L10	S08°22'37"W	106.65'
L11	S08°22'37"W	44.23'
L12	S07°17'47"W	72.16'
L13	S07°17'47"W	40.67'
L14	S05°51'39"W	122.11'
L15	S20°03'29"W	112.30'
L16	S20°03'29"W	77.72'
L17	S20°03'29"W	168.10'

Planning Commission Preliminary Plat Approval

Approved by Hermitage/Fredonia County Planning Commission on _____ conditions as set forth in its minutes of the Commission on _____ Date _____

Preliminary plat approval shall not constitute final approval for recording purposes.



PHILIP KYLE
MAP 17, PAR. 12.00
RB. 157, P. 183, R.O.T.C.
ZONING: A-1

PHILIP KYLE
MAP 17, PAR. 18.00
RB. 157, P. 183, R.O.T.C.
ZONING: A-1

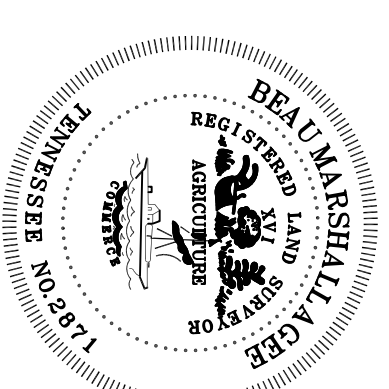
ROYCE GOLDEN
MAP 17, PAR. 19.00
RB. 32, P. 303, R.O.T.C.
ZONING: R-1
REMAINING AREA:
523,245 SQ. FT. +/-
OR 12.01 AC. +/-

LOT NUMBER	SQ. FT. +/-	ACREAGE +/-
1	87,568	2.01
2	59,540	1.37
3	54,839	1.26
4	55,748	1.28
5	56,649	1.30
6	62,959	1.45
7	64,670	1.48
8	66,883	1.53
9	72,757	1.67
10	75,297	1.73
11	120,595	2.77
12	143,252	3.29
13	218,223	5.01
14	77,712	1.78
15	87,909	2.02
16	218,278	5.01
TOTAL	1,522,849	34.96

Certificate of Survey Accuracy

I (we) hereby certify that to the best of my (our) knowledge and belief, the foregoing is a true and correct copy of the original survey hereon; that this is a Class "1" Land Survey, as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date: _____ Brian Marshall, Assoc. H.T.S. TN #2871



PROPERTY INFO:
OWNER: ROYCE GOLDEN and wife
DIANE G. GOLDEN
RB 32, P. 303, R.O.T.C.

PRELIMINARY PLAT OF SUBDIVISION OF
FREEDOM ESTATES
FORMERLY "THE GOLDEN PROPERTY"
MAP 17, P/O PARCEL 19.00
6TH CIVIL DISTRICT OF TROUSDALE COUNTY, TN
ZONING: R-1
DATE: JANUARY 11, 2023 JOB # 22-0628-A1630

AP
AGEE PROFESSIONAL
LAND SURVEYING, LLC
1622 WOODSIDE DR.
LEBANON, TN 37087
615.887.1371
braungee1@gmail.com



HETHCOAT & DAVIS, INC.
278 Franklin Road
Building 4, Suite 200
Brentwood, TN 37027
Phone: (615) 577-4300
Fax: (615) 577-4303

December 14, 2022

File: 1178-04.008

MEMORANDUM - LETTER OF AVAILABILITY

From: Bryant Griffin, P.E.

To: Bennie Oldham, CSBWUD Manager

Re: Bass Road Development - Review of Water Availability

We have completed our review of the proposed Bass Road Development - a sketch plat prepared by Agee Professional Land Surveying, LLC and submitted for review by the Property Owner, Fleming Homes, LLC. In general, the development will consist of subdividing a parcel of land into 16 separate tracts for residential homes. Provisions for sewage treatment were not identified on the sketch plat. The proposed development is located along Bass Road, approximately 1.0 miles north of the intersection of Highway 231 and Highway 25.

Existing water lines within the CSBWUD distribution system that are near the proposed development include a 6-inch PVC Class 200 water line along Bass Road. Proposed water service for the subdivision can be provided from this existing water line.

Based on current operating conditions within the distribution system, static water pressure will range between approximately 70 - 80 psi at the point of connection to CSBWUD. The water pressure at the proposed point of connection was determined by performing a hydrant flow test. An existing hydrant in front of 1325 Bass Road was read while an existing hydrant in front of 1025 Bass Road was flowed. A peak demand of 50 gallons per minute (gpm) was estimated for the 16 proposed residential homes. See attached Hydraulic Calculations and Location Map showing flow results, hydrant locations, and existing water lines in the area of the proposed development.

Summary of Findings

The water system is capable of providing domestic water service to the proposed development. It should be noted that the available pressures stated above are at the point of connection to CSBWUD and does not include losses that may occur due to metering, private service lines, backflow prevention, and changes in site elevation or multi-story construction.



HETHCOAT & DAVIS, INC.
278 Franklin Road
Building 4, Suite 200
Brentwood, TN 37027
Phone: (615) 577-4300
Fax: (615) 577-4303

In order to provide fire flow capabilities, the Water System must be able to meet TDEC's fire flow requirements of 500 gpm at 20 psi. **Fire flow requirements cannot be met for the proposed subdivision.** Therefore, H&D does not recommend the installation of fire hydrants on the existing or proposed water mains.

Please call if you have questions or require additional information.

Thanks,

A handwritten signature in blue ink that reads "Bryant Griffin".

Bryant Griffin, P.E.

Attachments: Hydraulic Calculations and Location Map

HYDRAULIC CALCULATIONS

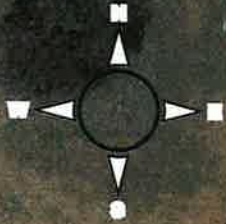
RE: **CASTALIAN SPRINGS BETHPAGE WATER UTILITY DISTRICT BASS ROAD DEVELOPMENT**

- 1) Number of new residences served = 16
- 2) Peak flow per residence is 2 gallons per minute (gpm), which gives a total peak flow of 32 gpm.
- 3) Use 50 gpm as the peak design flow.
- 4) Elevation at point of connection = 640 ft
- 5) Tank overflow elevation = 830 ft
- 6) Available static pressure at point of connection = 80 psi
- 7) Total water line length is 3,000 feet of 6" diameter PVC pipe. Head loss at 50 gpm is 0.027 ft per 100 ft.
- 8) Total head loss in water line at 50 gpm = $3,000 \text{ ft} \times (0.027 \text{ ft}/100 \text{ ft}) = 0.8 \text{ ft}$
- 9) Available pressure at point of connection with addition of 50 gpm demand = 45 psi.
- 10) Hydraulic Grade at point of connection = $640 \text{ ft} + (45 \text{ psi})(2.31 \text{ ft}/\text{psi}) = 744.0 \text{ ft}$
- 11) Highest elevation of proposed water line = 640 ft
- 12) Residual pressure at 50 gpm = $(744.0 \text{ feet} - 0.8 \text{ feet} - 640 \text{ feet}) / (2.31 \text{ ft}/\text{psi}) = 44.7 \text{ psi}$

44.7 psi is greater than 20 psi

**Water For Bass Road
Comes From Hartsville
Water Dept.
From Snake Hollow Tank Elev 830 Feet**

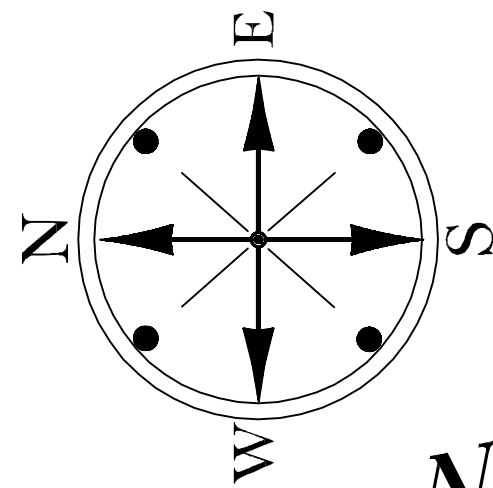
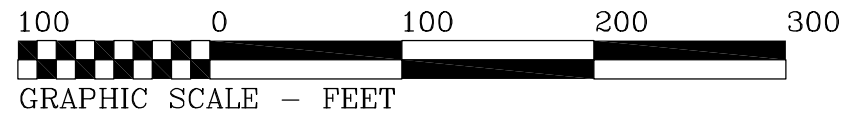
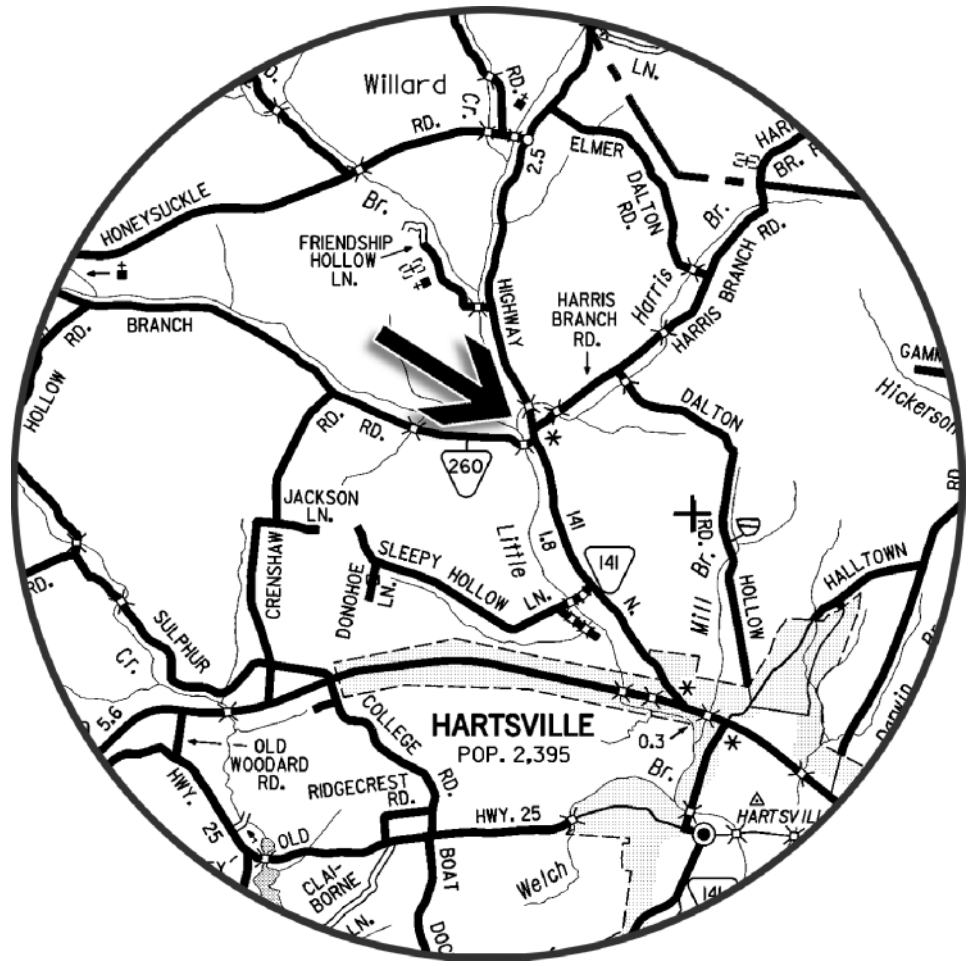
**Read Hydrant
1325 Bass Road
Elev=640
Static=80 PSI
Residual=40 PSI**



**Proposed 6 inch waterline will start at
1025 Bass Road and be approximately
3000 Feet South.**

**Flow Hydrant
1025 Bass Road
Elev = 640
Static = 80 psi
Residual = 40 psi
Flow = 90 gpm**

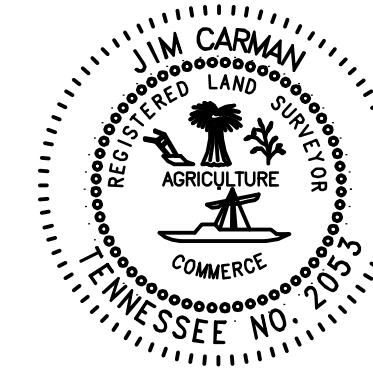
LOCATION SKETCH n.t.s.



NOTES:

- PROPERTY IS ZONED "R-1".
- THIS PROPERTY LIES IN AN AREA DESIGNATED AS FLOOD ZONES AE & X. SEE COMMUNITY PANEL NUMBER 47169C0041C, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2010.
- OWNER: LEWIS C. BEASLEY, JR.
120 McMurry Blvd West
HARTSVILLE, TENNESSEE 37074
- ALL CORNERS ARE NEW IRON RODS UNLESS OTHERWISE SPECIFIED.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
50 LINDA LANE
HARTSVILLE, TENNESSEE
PHONE: (615) 374-3344

HIGHWAY

NORTH

#141

LEWIS C. BEASLEY, JR.
DEED BOOK 56, PAGE 456
MAP 14, PARCEL 23.00

SEPTIC RESTRICTIONS

- LOTS #4 - #11 ARE APPROVED FOR INSTALLATION AND DUPLICATION OF CONVENTIONAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS TO SERVE AN ESTIMATED HOUSE SIZE OF 3 BEDROOMS.
- LOTS #4 - #11 MAY REQUIRE PUMP SYSTEMS TO TRANSFER SEPTIC TANK EFFLUENT TO AREAS OF THE LOT WITH SUITABLE SOIL CONDITIONS FOR DISPOSAL.
- SHADING ON LOTS #4 - #11 REPRESENTS AN AREA RESERVED TO BE USED FOR THE INSTALLATION OF THE PRIMARY AND DUPLICATE SUBSURFACE SEWAGE DISPOSAL SYSTEMS, AND SHALL BE USED FOR NO OTHER PURPOSE SUCH AS HOUSE LOCATION, OTHER STRUCTURE LOCATION, BURIED UTILITIES, DRIVEWAYS, SWIMMING POOLS, ETC. OR ANY USE WHICH WOULD CONFLICT WITH THE REGULATIONS TO GOVERN SUBSURFACE SEWAGE DISPOSAL IN TENNESSEE. MODIFICATION OF THE SHADED AREA MAY BE CONSIDERED, PROVIDED SUFFICIENT SHADED AREA IS MAINTAINED.
- LOTS #4 - #11 ARE APPROVED FOR USE WITH UTILITY WATER ONLY.
- THE SIZE, NUMBER OF SQUARE FEET, DESIGN, AND LOCATION OF THE PROPOSED DWELLING MAY FURTHER RESTRICT THE MAXIMUM NUMBER OF BEDROOMS FOR WHICH A PERMIT MAY BE ISSUED.
- ALL UNDERGROUND UTILITIES AND DRIVEWAYS MUST ENTER ALONG THE PROPERTY LINES.
- APPROVAL IS BASED ON SOIL CONDITIONS SUITABLE FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND DOES NOT CONSTITUTE APPROVAL OF BUILDING SITES.
- PRIOR TO COMMENCING CONSTRUCTION ON ANY LOT, THE OWNER OF THE LOT MUST IDENTIFY AND MARK THE BOUNDARIES OF THE APPROVED SUBSURFACE SEWAGE DISPOSAL SITE ON SUCH LOT AS SHOWN ON THIS PLAT. IF THE OWNER DESIRES TO MODIFY OR RELOCATE THE SOIL SITE, THE OWNER WILL BE RESPONSIBLE FOR OBTAINING A SOIL EVALUATION OF THE PROPOSED LOCATION AND OBTAINING ALL NECESSARY APPROVALS PRIOR TO COMMENCING CONSTRUCTION.

JACK CAREY
DEED BOOK 36, PAGE 76
MAP 14, PARCEL 18.02

WILLIAM JENKINS
DEED BOOK 72, PAGE 408
MAP 14, PARCEL 17.02

Course	Bearing	Distance
L1	S 25°32'30" E	17.15'
L2	S 28°55'32" E	51.78'
L3	S 11°53'44" E	31.81'
L4	S 25°36'46" W	37.48'
L5	N 14°53'16" E	17.97'

Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
1	1397.39'	50.92'	101.79'	4°10'25"	101.77'	S 26°01'13" E
2	1397.39'	50.60'	101.15'	4°08'51"	101.13'	S 21°51'35" E
3	1397.39'	50.55'	101.05'	4°08'35"	101.02'	S 17°42'52" E
4	1397.39'	34.84'	69.68'	2°51'25"	69.67'	S 14°12'52" E
5	1145.92'	272.04'	534.19'	26°42'34"	529.37'	N 54°40'00" W
6	1145.92'	71.00'	141.82'	7°05'27"	141.73'	N 71°34'00" W

LEWIS BEASLEY, JR.
RECORD BOOK 157, PAGE 422
MAP 14, PARCEL 2.00 P/O
6.24 AC.+-- REMAINING

FINAL SUBDIVISION PLAT OF SECTION 2 OF

WILLOW WAY

LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

SCALE : 1" = 100'
DATE : OCTOBER 20, 2022
SIZE : 9.08 AC.+--
DEED : R. B. 157, PG. 422, R.O.T.C.T.
MAP : MAP 14, PAR. 2.00 P/O, T.A.O.T.C.T.

<p>CERTIFICATE OF OWNERSHIP AND DEDICATION</p> <p>I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Record Book 157, Page 422, Trousdale County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.</p> <p>Date: _____</p> <p>LEWIS C. BEASLEY, JR.</p>	<p>CERTIFICATE OF SURVEY ACCURACY</p> <p>I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon, that this is a Category 1 Land Survey as defined in, Chapter 0820-3-.05, Tennessee Code Annotated and that the ratio of precision is greater than or equal to 1:10,000.</p> <p>Date: _____</p> <p>JIM CARMAN Registered Land Surveyor #2053</p>	<p>CERTIFICATE OF APPROVAL OF WATER SYSTEMS</p> <p>I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled Willow Way - Section 2 have been installed in accordance with current local and/or state government requirements, or a sufficient bond or other surety has been filed which will guarantee said installation.</p> <p>Date: _____</p> <p>Name, Title, and Title Agency or Authorized Approving Agency</p>	<p>Approval is hereby granted for lots #4 - #11 defined as Willow Way - Section 2, Trousdale County, Tennessee, as being suitable for sub-surface sewage disposal (SSD) with the listed or attached restrictions. Prior to any initiation of construction of a structure, mobile, or permanent, the plans for the exact house/structure must be approved and a SSD system permit issued by the Division of Water Resources. Water taps, water lines, underground utilities and driveways should be located at the side property lines unless otherwise noted. Any cutting, filling, or alterations of the soil conditions may void this approval.</p> <p>Date: _____</p> <p>Environmental Specialist Division of Water Resources</p>	<p>CERTIFICATE OF APPROVAL OF PUBLIC WAYS FOR BOND POSTING</p> <p>I hereby certify: (1) that all designated public ways on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Hartsville/Trousdale County Subdivision Regulations, or (2) That a performance bond or other surety has been posted with the Planning Commission to guarantee completion of all required improvements in case of default.</p> <p>Date: _____</p> <p>Appropriate Government Representative</p>	<p>CERTIFICATE OF APPROVAL FOR RECORDING</p> <p>I hereby certify that the subdivision plat shown hereon has been found to comply with the Hartsville/Trousdale County, Tennessee Subdivision Regulations, with the exceptions of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.</p> <p>Date: _____</p> <p>Secretary Planning Commission</p>
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STAFF COMMENTS

HARTSVILLE/TROUSDALE CO. PLANNING COMMISSION

February 13, 2023

KEALAN MILLIES-LUCKE, GNRC

NEW BUSINESS

1) Request by Mary Lynn Claridy for the rezoning of 5.01 acre at unaddressed Hwy 10, (Map 13 Parcel 32.05) from A-1 to R-1 in the 3rd Civil District

The applicant requests rezoning from A-1, Agricultural-Forestry to R-1, Residential for a 5.01 acres lot located at unaddressed Hwy 10, identified as Tax Map 13 Parcel 32.05. The property is currently vacant.

Planning Notes

- a. The surrounding properties are zoned A-1, Agricultural-Forestry.
- b. This property is not within the Hartsville/Trousdale Water and Sewer Utility District. A 6-inch is located along Hwy 10 and this property does not have access to public sewer.
- c. Lettie Reese Rd is identified as a collector street per the Major Thoroughfare Plan.

Zoning Notes

Zoning District Standards

a) **(5.041 Agriculture-Forestry District)**- This district is intended to preserve space for agricultural and forestry uses which together comprise an important segment of the economy of Trousdale County. The primary intent, of the A-1 District, is to minimize conflicts between agricultural and forestry activities and various nonfarm activities; to permit lands best suited for intense agricultural uses to be reserves for these suited purposes; and to prevent lands unsuitable for development of an urban or non rural nature, due to topographic problems, location, or the inability to provide necessary urban services, or being encroached upon by these incompatible land uses. Areas assigned to the A-1 District are primarily areas where growth of an urban or nonrural nature is deemed undesirable for one or more of the reasons outlined above. The following regulations shall apply in the A-1, Agriculture-Forestry District, as defined on the Zoning Map, of Trousdale County, Tennessee.

b) **(5.042 R-1, Residential District)** - remoteness, the absence of necessary urban services, or the continuation of farming or agricultural activities, development of a suburban density is undesirable or unfeasible. These districts are, therefore, designed to provide suitable areas for low density residential development characterized by an open appearance. Most generally, the residential development will consist of single-family detached dwellings and accessory structures, but the districts may also include community facilities, public utilities and open uses which serve specifically the residents of those districts or which are benefited by an open residential environment without creating objectionable or undesirable influences upon such development. It is the express purpose of this resolution to exclude

from these districts all buildings or other structures and uses having commercial characteristics whether operated for profit or otherwise, except that special exceptions and home occupations shall be considered as not having such characteristics if they, otherwise, conform to the provisions of this resolution.

Uses Permitted (5.042 B)- Uses permitted by right in the R-1 zoning district include; detached single-family and duplex dwellings, and essential services.

Uses Permitted through Special Exception (5.042 D)- Uses allowed through special exception in the R-1 zoning district include administrative services, community assembly, community education, cultural and recreational services, health care facilities, intermediate impact facilities, personal and group care facilities, and religious facilities.

Bulk Standards (F)- The minimum lot sizes in the R-1 zoning district are as follows-

Single-Family

With public water and public sewer 15,000 sq.ft.

With public water but without public wastewater 1 acre

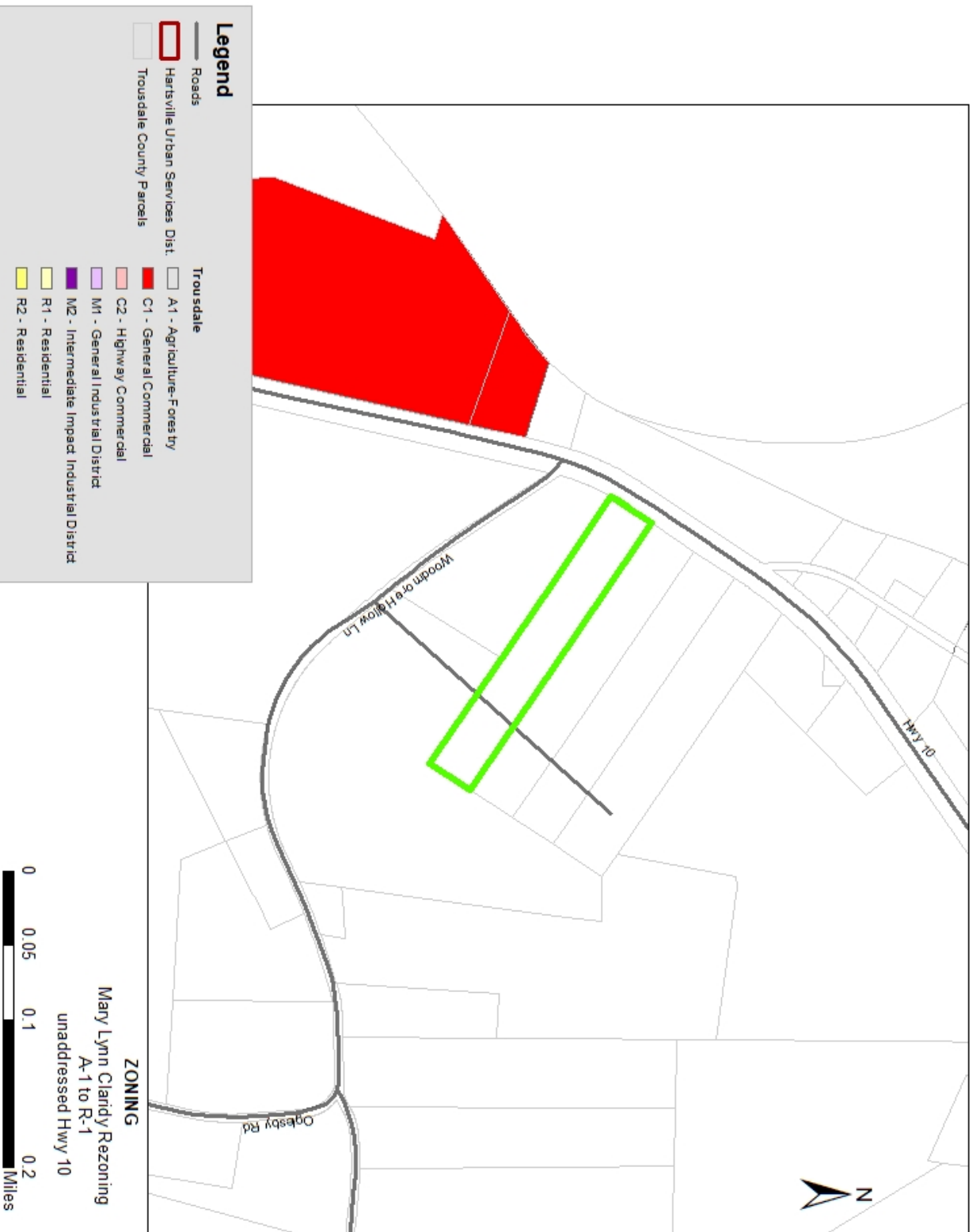
Duplex

With public water and public sewer 40,000 sq.ft.

With public water but without public wastewater 17,000 sq.ft.

- a. The proposed area to be rezoned is roughly 5.01 acres this would allow for a maximum density of 5 single family lots or 12 duplex lots.

Hartsville/Trousdale Zoning



2) Request by William and Tonya Fergusson for the rezoning of 5.01 acres at 665 Hawkins Branch Rd, (Map 06 Parcel 4.03) from A-1 to R-1 in the 4th Civil District

The applicant requests rezoning from A-1, Agricultural-Forestry to R-1, Residential for a 5.01 acre lot located at 665 Hawkins Branch Rd, identified as Tax Map 06 Parcel 4.03. The property currently is used for a single-family home and an accessory structures.

Planning Notes

- a. The surrounding properties are zoned A-1, Agricultural-Forestry.
- b. This property is not within the Hartsville/Trousdale Water and Sewer Utility District but has access to a 6-inch water line and does not have access to public sewer.
- c. Hawkins Branch Rd is identified as a collector street per the Major Thoroughfare Plan.
- d. The front of this property is located within the Flood Zone A.

Zoning Notes

Zoning District Standards

a) **(5.041 Agriculture-Forestry District)**- This district is intended to preserve space for agricultural and forestry uses which together comprise an important segment of the economy of Trousdale County. The primary intent, of the A-1 District, is to minimize conflicts between agricultural and forestry activities and various nonfarm activities; to permit lands best suited for intense agricultural uses to be reserves for these suited purposes; and to prevent lands unsuitable for development of an urban or non rural nature, due to topographic problems, location, or the inability to provide necessary urban services, or being encroached upon by these incompatible land uses. Areas assigned to the A-1 District are primarily areas where growth of an urban or nonrural nature is deemed undesirable for one or more of the reasons outlined above. The following regulations shall apply in the A-1, Agriculture-Forestry District, as defined on the Zoning Map, of Trousdale County, Tennessee.

b) **(5.042 R-1, Residential District)** - remoteness, the absence of necessary urban services, or the continuation of farming or agricultural activities, development of a suburban density is undesirable or unfeasible. These districts are, therefore, designed to provide suitable areas for low density residential development characterized by an open appearance. Most generally, the residential development will consist of single-family detached dwellings and accessory structures, but the districts may also include community facilities, public utilities and open uses which serve specifically the residents of those districts or which are benefited by an open residential environment without creating objectionable or undesirable influences upon such development. It is the express purpose of this resolution to exclude from these districts all buildings or other structures and uses having commercial characteristics whether operated for profit or otherwise, except that special exceptions and home occupations shall be considered as not having such characteristics if they, otherwise, conform to the provisions of this resolution.

Uses Permitted (5.042 B)- Uses permitted by right in the R-1 zoning district include; detached single-family and duplex dwellings, and essential services.

Uses Permitted through Special Exception (5.042 D)- Uses allowed through special exception in the R-1 zoning district include administrative services, community assembly, community education, cultural and recreational services, health care facilities, intermediate impact facilities, personal and group care facilities, and religious facilities.

Bulk Standards (F)- The minimum lot sizes in the R-1 zoning district are as follows-

Single-Family

With public water and public sewer 15,000 sq.ft.

With public water but without public wastewater 1 acre

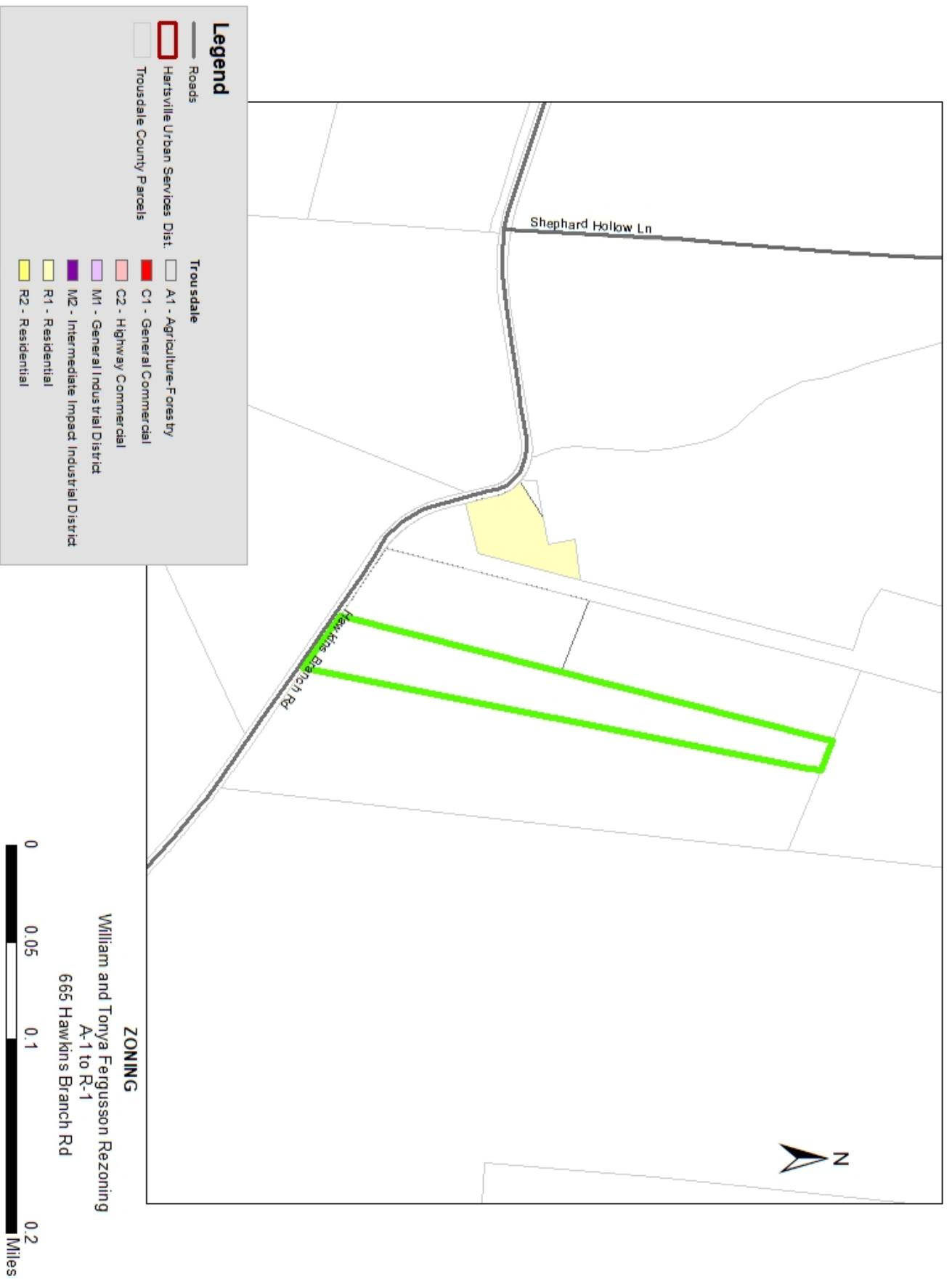
Duplex

With public water and public sewer 40,000 sq.ft.

With public water but without public wastewater 17,000 sq.ft.

a. The proposed area to be rezoned is roughly 5.01 acres this would allow for a maximum density of 5 single family lots or 12 duplex lots however due to the shape of the lot further development would require the construction of a street which would reduce the possible density.

Hartsville/Trousdale Zoning



3) Request by Elizabeth Sutherland for the rezoning of 3.95 acre at 185 Lattie Reese Rd, (Map 26 Parcel 58.00) from A-1 to R-1 in the 1st Civil District

The applicant requests rezoning from A-1, Agricultural-Forestry to R-1, Residential for a 3.95 acres lot located at 185 Lattie Reese Rd, identified as Tax Map 26 Parcel 58.00. The property currently is used for a single-family home.

Planning Notes

- a. The surrounding properties are zoned A-1, Agricultural-Forestry, R-1 and R-2, Residential.
- b. This property is not within the Hartsville/Trousdale Water and Sewer Utility District. An 8-inch and 4-inch water line is located along Lettie Reese rd and does not have access to public sewer.
- c. Lettie Reese Rd is identified as a collector street per the Major Thoroughfare Plan.

Zoning Notes

Zoning District Standards

a) **(5.041 Agriculture-Forestry District)**- This district is intended to preserve space for agricultural and forestry uses which together comprise an important segment of the economy of Trousdale County. The primary intent, of the A-1 District, is to minimize conflicts between agricultural and forestry activities and various nonfarm activities; to permit lands best suited for intense agricultural uses to be reserves for these suited purposes; and to prevent lands unsuitable for development of an urban or non rural nature, due to topographic problems, location, or the inability to provide necessary urban services, or being encroached upon by these incompatible land uses. Areas assigned to the A-1 District are primarily areas where growth of an urban or nonrural nature is deemed undesirable for one or more of the reasons outlined above. The following regulations shall apply in the A-1, Agriculture-Forestry District, as defined on the Zoning Map, of Trousdale County, Tennessee.

b) **(5.042 R-1, Residential District)** - remoteness, the absence of necessary urban services, or the continuation of farming or agricultural activities, development of a suburban density is undesirable or unfeasible. These districts are, therefore, designed to provide suitable areas for low density residential development characterized by an open appearance. Most generally, the residential development will consist of single-family detached dwellings and accessory structures, but the districts may also include community facilities, public utilities and open uses which serve specifically the residents of those districts or which are benefited by an open residential environment without creating objectionable or undesirable influences upon such development. It is the express purpose of this resolution to exclude from these districts all buildings or other structures and uses having commercial characteristics whether operated for profit or otherwise, except that special exceptions and home occupations shall be considered as not having such characteristics if they, otherwise, conform to the provisions of this resolution.

Uses Permitted (5.042 B)- Uses permitted by right in the R-1 zoning district include; detached single-family and duplex dwellings, and essential services.

Uses Permitted through Special Exception (5.042 D)- Uses allowed through special exception in the R-1 zoning district include administrative services, community assembly, community education,

cultural and recreational services, health care facilities, intermediate impact facilities, personal and group care facilities, and religious facilities.

Bulk Standards (F)- The minimum lot sizes in the R-1 zoning district are as follows-

Single-Family

With public water and public sewer 15,000 sq.ft.

With public water but without public wastewater 1 acre

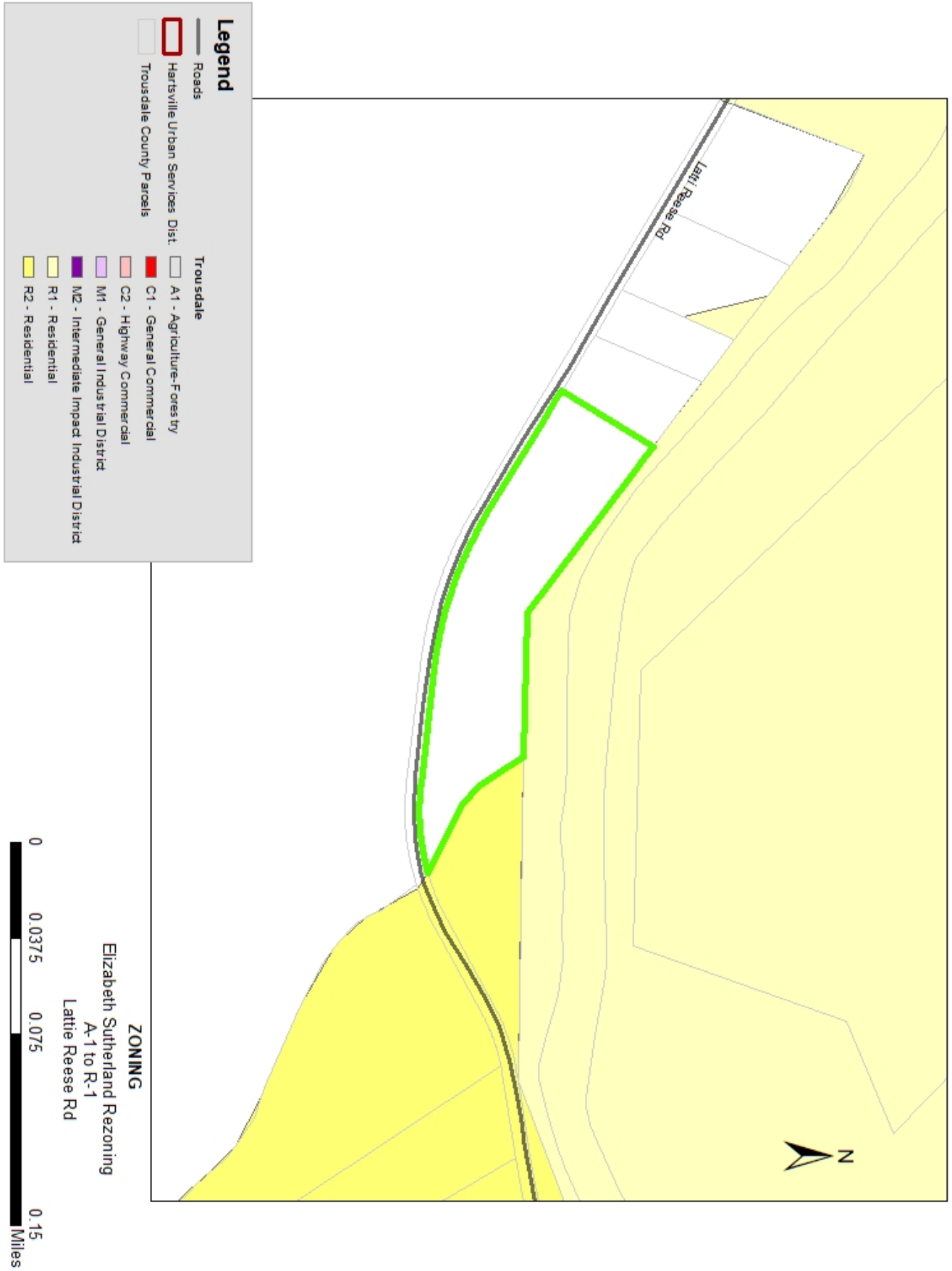
Duplex

With public water and public sewer 40,000 sq.ft.












With public water but without public wastewater 17,000 sq.ft.

a. The proposed area to be rezoned is roughly 3.95 acres this would allow for a maximum density of 3 single family lots, or 10 duplex lots.

Hartsville/Trousdale Zoning



Legend

- | | |
|---|--|
|  Hartsville Urban Services Dist. |  Trousdale |
|  Roads |  A1 - Agriculture-Forestry |
|  Trousdale County Parcels |  C1 - General Commercial |
| |  C2 - Highway Commercial |
| |  M1 - General Industrial District |
| |  M2 - Intermediate Impact Industrial District |
| |  R1 - Residential |
| |  R2 - Residential |



4) Preliminary plat approval for Freedom Estates Subdivision of 34.96 acres located at unaddressed Bass Rd (Map 17 Parcel 19.00) for 16 lots in the 6th Civil District.

The applicant requests preliminary plat approval for a sixteen-lot subdivision, at an undressed property on Bass Rd. The property is identified as Tax Map 17 Parcel 19.00 and consists of approximately 34.96 acres total. The property is zoned R-1, Residential.

Planning Issues-

- a. The surrounding properties are zoned for agricultural and residential uses.
- b. This property is outside the Hartsville/Trousdale Water and Sewer Utility District but a 4-inch water line supplied by the Castalian Springs/ Bethpage Water Utility does appear to be located nearby on Bass Rd. Sewer does not appear to be available in this area.
- c. Bass Rd is identified as a minor street in the Major Thoroughfare Plan.

Zoning Issues-

b) Zoning District Standards (Trousdale Zoning Resolution, Section 5.042)

i) Bulk Standards (5.042 F)

- (1) The minimum lot area per dwelling unit with public water but without public sewer is 1 acre.
- (2) All proposed lots are great than 1 acre.

Subdivision Regulations Issues- None

Plat Issues-

- a. Please include the address of the owners.
- b. Please include the distance and bearing of one of the corners of the boundary of the subdivision to the nearest intersection of existing public ways and to the original corner of the original survey of which it is a part.
- c. Include note explaining all proposed easements.
- d. Include size and location of existing or proposed water line and if possible include location of proposed fire hydrants.

Staff will supply recommendation at the meeting.

5) Final plat approval for Section 2 of the Willow Way Subdivision of 4.4 acres located at unaddressed Hwy 141 N (Map 14 Parcel 2.00) for 3 lots in the 7th Civil District.

The applicant requests preliminary plat approval for an eleven-lot subdivision, at an undressed property on Hwy 141 N. The property is identified as Tax Map 14 Parcel 2.00 and consists of approximately 4.4 acres total. The property is zoned R-1, Residential.

Planning Issues-

- a. The surrounding properties are zoned for agricultural and residential uses.
- b. The parcel is within the Hartsville/Trousdale Utility district and has access to a 6-inch water line along Hwy 141N.

Zoning Issues-

b) Zoning District Standards (Trousdale Zoning Resolution, Section 5.042)

i) Bulk Standards (5.042 F)

- (1) The minimum lot area per dwelling unit with public water but without public sewer is 1 acre.
- (2) All proposed lots are great than 1 acre.

Subdivision Regulations Issues- None

Plat Issues- None

Staff recommends approval.

6) Discussion- Commercial Design Guidelines

1. Proposed Tree Preservation and Maintenance Requirements

Tree Preservation and Maintenance Requirements

1.1 Tree Preservation Standards

Within all industrial and commercial zoning districts trees shall be reserved in the following ways;

- a) All 4"-7" caliper trees removed must be replaced at 25% caliper ratio;
- b) 8"-23" caliper trees in good condition shall be preserved;
- c) All 24" or greater caliper "heritage trees" shall be preserved.

Deviation from these standards requires a variance be granted by the Board of Zoning Appeals following proof that the condition or location of the tree would create an undue burden on the development of the lot. In granting the variance the Board of Zoning Appeals may require that trees greater than 8" shall be replaced at an equivalent caliper ratio elsewhere on the property.

2.1 Existing Vegetation in Buffer Yards

Existing trees within the required buffer yards may be counted towards a maximum of 50% of the required shrubs and/or trees; credit preference given to "stands" of trees (5 or more clustered together) or trees of significant size (10" or greater).

3.1 Tree Preservation Plan

To receive credit for existing trees, a tree preservation plan shall be submitted as part of the landscape plan. A certified arborist shall review the tree preservation plan and shall visit the site to confirm the accuracy of the tree survey. The certified arborist shall provide documentation regarding the health and survivability of existing vegetation and establish the critical root zone for each tree or grove of trees. The Enforcing Officer may waive the requirement for a certified arborist if the disturbed area is at least 20 feet away from the existing canopy drip line and the existing vegetation on site creates an opaque screen from the adjacent property.

3.2 Tree Protection During Construction

Protective barricades shall be placed around the critical root zone of all trees designated in the tree preservation plan prior to the start of development activities and shall remain in place until development activities are complete.

- a) A protection barrier or tree fence shall be installed at a minimum of 3 feet in height around the tree or tree grove that is identified to be protected. The tree fence shall be constructed of a barrier material securely fastened to a wood or metal frame properly braced by 2 by 4 inch minimum structural members with cross braces, or another form of substantial barrier approved by the County.
- b) The area within the protective barricade shall remain free of all building materials, dirt or other construction debris, and vehicles. No substantial disturbance shall occur within the protective barricade including compaction of soil, trenching, placing backfill, grading or dumping trash, oil, paint, or other materials detrimental to plant health.
- c) Failure to comply with these requirements will result in the denial of tree credits and the landscape plan will have to be modified to include new tree plantings.

2. Proposed Specific Criteria for Stormwater Management Systems and Facilities

IN PROGRESS

3. Proposed ADA Parking Lot Design Requirements

Parking Lot Design

- a. Minimum number of Accessible Parking Spaces:

Minimum Number of Accessible Parking Spaces Table

Parking Facility Total	Minimum Number of Accessible Spaces		
	Standard	Van*	Total (Standard + Van)
1 to 25	0	1	1
26 to 50	1	1	2
51 to 75	2	1	3
76 to 100	3	1	4
101 to 150	4	1	5
151 to 200	5	1	6
201 to 300	5	2	7
301 to 400	6	2	8
401 to 500	7	2	9
501 to 550	9	2	11**

- b. Size:

i. Standard

1. Parking stall: min 96" wide x 19'-20' long
2. Min 60" wide x 1 length of adjacent parking stall
3. Two ADA parking spaces may share an accessible aisle between them.

ii. Van accessible

1. Parking stall: min 132" wide x 19'-20' long
2. Min 96" wide x 1 length of adjacent parking stall
3. Two ADA parking spaces may share an accessible aisle between them.

- c. Location:

- i. Where parking serves multiple entrances to a facility, accessible spaces must be dispersed among accessible entrances. (If the number of accessible entrances exceeds the number of accessible spaces, additional accessible spaces are not required). Accessible parking spaces must be located on the shortest accessible route to an accessible entrance, relative to other spaces in the same parking facility. A maximum travel distance is not specified in the Standards.
- ii. Accessible spaces required for one parking facility can be located in another if doing so results in substantially equal or better access in terms of travel distance to an accessible entrance, parking fee, or user conveniences such as protection from weather, better security and lighting. The minimum number must still be determined separately for each parking facility. Locating accessible spaces required for a parking structure in a surface lot often will not qualify for this exception because such a location typically offers less convenience, security, and protection from the elements.

- d. Required Public Sidewalks

- i. All required public sidewalks associated with a development shall meet the requirements outlined in Section 4-108 of the Hartsville-Trousdale Subdivision Regulations.

4. Discussion- Architecture Requirements

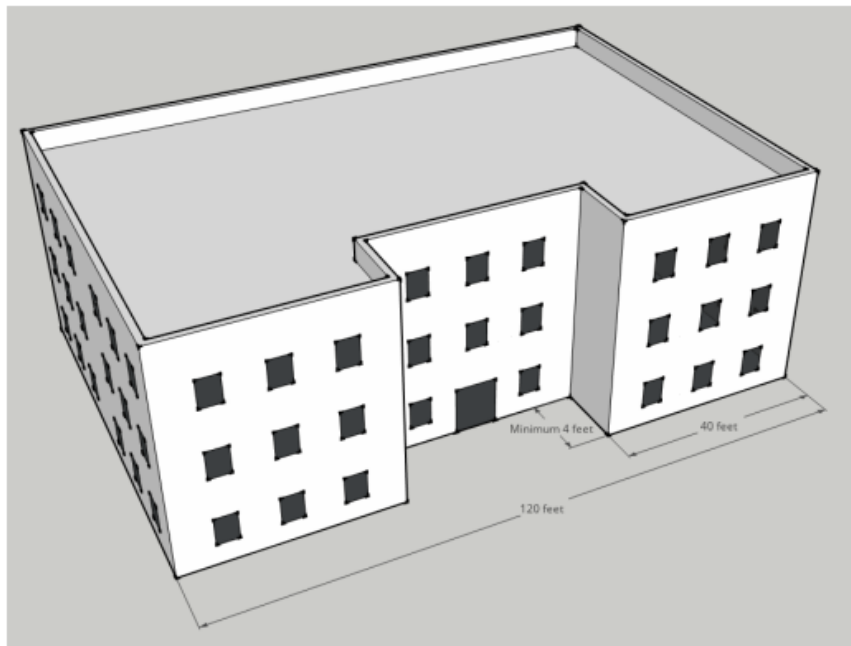
a. Offsets

PORTLAND, TN

4.3.3 Offsets

The maximum length of the plane of any façade is 40'; exterior walls of any building longer than 40' shall have recesses or projections at a minimum depth of 10% of the longer adjacent unbroken wall length and be proportional to the building's height and length. Projections used to break up the length of the building shall extend to the ground. The Design Review Committee may waive this requirement for industrial uses. See Figure 3: Building Offset Diagram.

Figure 3: Building Offset Diagram



b. Building Materials

SUMNER COUNTY

Identifies primary and supporting materials allowed. No set percentage is required. Breaks up materials by structure, roof, windows, doors and fences.

Materials. The use of natural materials is encouraged. The following is a list of approved primary exterior materials, along with those materials that are approved only as supporting materials:

Primary Structure

- Approved primary exterior materials: Brick, Wood (including Log Style), Stone, Faux Stone
- Approved supporting exterior materials: Hardie Board and Stucco

Roofs

- Approved materials: Asphalt Shingles, Metal, Slate, Terracotta, Wood (Shake Shingle)

Windows

- Approved materials: Wood and Vinyl

Doors

- Approved materials: Wood, Metal, and Vinyl Clad

Fences: All fence types shall not exceed 6-feet in height.

- Approved materials: Brick, Wood, Stone, Rock, and Wrought-Iron

SPRINGFIELD, TN

Identifies materials as preferred, limited, and prohibited. Limited materials may only comprise of 25% of side or rear walls. Other proposed materials are considered on a case-by-case basis.

Exterior Building Materials

Preferred wall materials may be used on any wall of a structure in the HDRO. Limited wall materials shall only be used on up to 25% of any of the individual side or rear walls. Prohibited wall materials shall not be used. Proposals using different exteriors may be considered on a case-by case basis provided it meets the purpose and intent of the overlay district.

Preferred Wall Materials:

- Brick
- Stone
- Fade-Resistant Quik-Brik
- Fade-Resistant Artificial Stone
- Architectural Panels
- Hardie Panels

Limited Wall Materials (Less Than 25% of Side/Rear Walls):

- Concrete or Split-Face Block
- Hard Coat or Textured Stucco
- Exterior Insulation Finishing Systems (EIFS)
- Hardie or Cementitious Siding

Prohibited Wall Materials:

- Vinyl
- Aluminum
- Unsurfaced and/or Unpainted Concrete Blocks
- Plywood
- Wood Shakes
- Asphalt Shingles

- Cementitious Siding
- Plastic or Fiberglass

Alternate proposals for exteriors may be considered, such as standard corporate design.

PORTLAND, TN

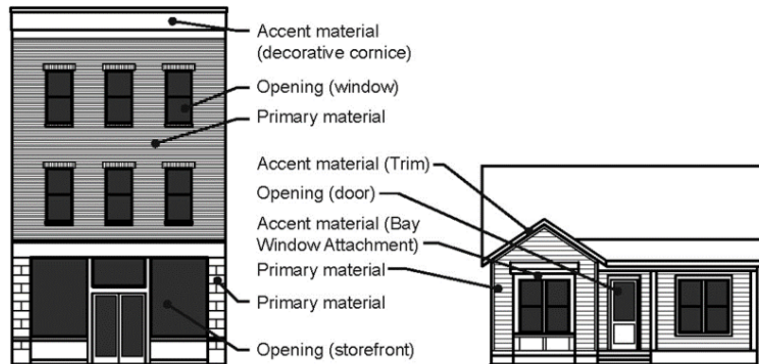
Includes a table of building materials allowed within each zoning district/use. Requires multi-family to be similar to surrounding properties. Requires facades to be made of minimum two materials. Dictates where on the façade materials should change.

Building Materials

Buildings materials shall be treated as a significant design element in defining the appearance of the building.

1. Materials for building facades shall be selected from Table 3: List of Permitted Building Materials by Zoning and/or Use according to the requirements relative to zoning or use designation in the table.
2. The building materials on a multi-family and townhome structure shall be similar to that of the surrounding properties. i.e. If a multi-family or townhome site is abutting single-family residential with siding, fiber cement or composite siding would be appropriate. If the single-family residential is brick, brick would be appropriate for the multi-family.
3. Building facades shall be built of minimum of two primary materials but no more than three primary materials on any one façade (See Figure 4: Primary and Secondary Materials Diagram).
4. Primary façade materials shall not change at outside corners. Façade materials only change along a horizontal line, at an inside corner, or outside corners where the materials wrap the corner a minimum of two (2) feet (See Figure 5: Material Change Diagram).

Figure 4: Primary and Secondary Materials Diagram



5. The Multi-Family & Townhome building materials standards shall apply to Community Facilities Uses in residentially zoned areas. Community Facility uses in a Commercial Zoning District shall meet the building material standards for that zoning district. Community Facility uses in an Industrial Zoning District shall meet the Commercial Uses in an Industrial District standard.
6. Materials not listed may be approved by Planning Commission. It shall be the responsibility of the Developer to prove that proposed materials are as durable as the allowed materials.

7. Material samples may be required at the discretion of the Planning Commission and/or Zoning Administrator.

Figure 5: Material Change Diagram

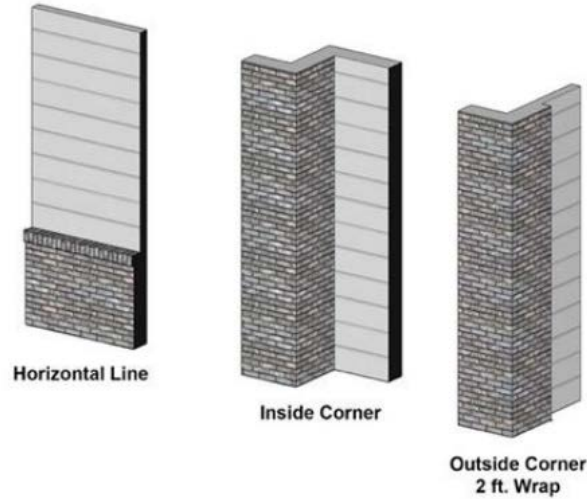


Table 3: List of Permitted Building Materials by Zoning and/or Use

	Multi-Family & Townhomes	CBD	CMU, NMU, GCS, HCD, ISD, and Commercial Uses in Industrial Districts	RMU, NSD & OPS	Industrial
Masonry					
Brick	✓	✓	✓	✓	✓
Stone	✓	×	✓	✓	✓
Split-faced/fluted concrete block	×	×	×	×	✓
Concrete block	×	×	×	×	✓
Cast Stone	✓	×	✓	✓	✓
Manufactured stone veneer siding	✓	×	✓	✓	✓
Stucco (authentic)	✓	×	✓	✓	✓
Metal					
Architectural Metal Panels	×	×	✓	×	✓
Metal Siding (ribbed & standing seam)	×	×	×	×	×
Wood					
Wood siding/shingles	✓	×	✓	×	✓
Other Materials					
Concrete, finished	×	×	×	×	✓
Concrete, unfinished	×	×	×	×	✓
Fiber cement siding, shingles, trim	✓	×	✓	✓	✓
Fiber cement panels	×	×	×	×	✓
Composite siding	✓	×	✓	✓	✓
Composite panels	×	×	×	×	✓
Vinyl siding	×	×	×	×	×
Vinyl panels	×	×	×	×	×
EFIS (upper stories only)	✓	×	✓	✓	✓
✓ = Permitted × = Not Permitted					

WILSON COUNTY, TN

Identifies prohibited materials within commercial and industrial zones and identifies a few allowed materials but ultimately leaves it to the discretion of the PC. They also identify specific uses/circumstances that are exempt from the requirements.

Building Material

1. Within commercial zone districts, Metal siding as a primary/predominant element shall not be permitted along any side of a building facing a public road. Said elevations shall consist primarily of brick, stone, or some other product deemed acceptable by the Planning Commission. The above listed building materials shall be extended at least one fourth (1/4) of the way down adjoining building elevations.
2. Within industrial zone districts, metal siding as a primary/predominant element shall not be permitted along any side of a building facing a public road. Said elevations shall consist primarily of brick, stone, split-face masonry products or some other product deemed acceptable by the Planning Commission.
3. The Planning Commission may accept site specific building material scenarios which vary from the provisions of these building material requirements upon reaching a determination that said scenarios reach the intent of this section.

Exceptions:

- a. Temporary Roadside stands (Fireworks Stands, produce stands, Christmas Tree Sales, Pumpkin Sales, etc.)
- b. Any Commercial or Industrial use of property that commenced prior to the passage of this section. The sections of this ordinance applicable to pre-existing or nonconforming uses shall be applicable to such uses. However, additions to these structures and required site elements will mandate compliance with these standards.
- c. Any other use of a specific tract approved to be excluded from the requirements of this section by the Board of Zoning Appeals.

GALLATIN, TN

Requires buildings in different zoning districts to be constructed of various percentages of stone or brick. Requires architecture and material compatibility with neighboring buildings.

13.08 Architectural Character and Compatibility Standards

13.08.010 Basic Design Criteria

A. Materials – To ensure a consistent and high quality design standards throughout the City in all districts, with the exception of A, R-40, R-20, R-15, R-10, R-8, IR and IG districts, any new or substantially expanded buildings shall be constructed with stone and/or brick materials as the predominant (minimum 70%) on exterior facades. Concrete block, split face block, other related concrete-masonry block materials, and/or manufactured/pre-cast panels are not considered stone or brick materials, but may be approved as an alternative material under Section 13.08.010.D.

In the A, R-40, R-20, R-15, R-10, R-8 districts, any use and building, other than single family

detached residential units, shall use brick and/or stone materials as the predominant (minimum 70%) exterior facade materials. One-family detached dwelling units shall be exempt from this requirement unless otherwise specified in Section 13.08.010.E.

In the IR and IG districts all buildings shall be constructed with at least 50% brick or stone material on facades of the building used for offices and fronting on a public or private roadway. Buildings, or portions of buildings, not fronting on public or private roadways may be constructed with other materials including but not limited to concrete block, split face block, other related concrete-masonry block materials, and/or manufactured/pre-cast panels. Non-industrial uses and activities in the IR and IG districts shall use brick and/or stone materials as the predominant (minimum 70%) exterior facade materials.

Building additions representing less than a 50% increase in the size of the primary existing structure, in other than the A, R-40, R-20, R-15, R-10, R-8 and all commercial districts, may be constructed with materials compatible with the existing building to match the existing façade/building materials and color. However, any building addition may be constructed of brick or stone regardless of the construction materials used on an existing primary structure.

B. Compatibility with Adjacent Buildings - In most cases, buildings are not viewed in isolation, but rather in the context of other buildings. To this end, the following criteria are required:

1. Building forms shall be tailored to fit within the existing topography and site features as much as possible.
2. While architectural styles may vary, buildings of a proposed development shall be compatible with surrounding buildings (within the site and with adjacent properties) with regard to massing, scale, proportion of openings, roof types, types of glazed openings, and degree of detail.
3. The use of materials and colors compatible with buildings adjacent to a site is required.

c. Rooflines

PORTLAND, TN

Does not specify specific roof lines but requires that it be appropriate to the building, requires the roofline be the same for the entire building, and roof mounted equipment must be screened.

4.5 Rooflines

Roof forms shall be appropriate to a building's design and scale. Roof lines should reduce the mass of large buildings and emphasize entrances and where possible provide shelter and shade for the pedestrian.

1. Flat roofs or low-pitched roofs with parapet walls are encouraged for larger commercial buildings.
2. A particular roof form shall be applied to the entire roof, rather than terminating at less visible points, such as the building's rear.
3. Alternative roof forms may be used if appropriate for a particular acceptable architectural style.
4. Roofs that are visible from the road shall be finished with colors and features consistent with the architecture of the façade.
5. Mechanical and roof mounted equipment shall be screened from public view and shall be compatible in color and material with the overall building material palette.

GALLATIN, TN

Only requires roofs be compatible with surrounding development.

... While architectural styles may vary, buildings of a proposed development shall be compatible with surrounding buildings (within the site and with adjacent properties) with regard to massing, scale, proportion of openings, roof types, types of glazed openings, and degree of detail.

Screening - To ensure that roof mounted equipment is not visible from any public right-of-way the following criteria is required:

1. Roofs shall not be visually cluttered. All roof level electrical transformers, heat and air conditioning equipment and similar facilities shall be screened from public view, along 13 - 87 all building elevations, with materials compatible with and well integrated into the overall design.
2. If no roof top equipment exists on a flat roof, a parapet may still be required to be installed on all elevations of the building.

SPRINGFIELD, TN

Very specific requirements, identifying a minimum overhang, detailed features, materials, and screening.

Roofs

- 1) Make the shape and pitch of roofs on new construction imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs must copy the shape and pitch or original roofs, and the soffit, fascia and trim detail between roof and wall should be compatible with the original.
- 2) The eaves on additions or new buildings should have an overhang that is compatible with the original eaves. A minimum overhang of at least twelve inches should be used on new buildings or additions to existing

buildings. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding and other unique roof features). Use some of these details in designing new buildings.

- 3) Materials used in roofing existing buildings or new construction shall duplicate the original roofing materials as much as possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal, or metal or wood shingle roof coverings.
- 4) Do not use satellite dishes, solar collectors, modern skylights on roof planes that are visible from the street, or install them where they interfere with decorative roof elements.